



Loudon County Planning Department

101 Mulberry Street, Suite 101
Loudon, Tennessee 37774
Office: 865-458-2055
Fax: 865-458-3598
www.loudoncounty-tn.gov

AGENDA LOUDON COUNTY REGIONAL PLANNING COMMISSION March 19, 2019 5:30 p.m.

1. Call to Order and Pledge of Allegiance
2. Roll Call and Approval of Minutes from February 19, 2019 meeting;
3. Planned Agenda Items:
 - A. Preliminary Subdivision plat for 79 lots, Applicant, Richard LeMay for Property owner, D. J. Wheeler, & Trust Co. of Knoxville. Beals Chapel Road, Tax Map 16, Parcel 214.04, R-1 Suburban Residential District, Approximately 34.44 acres;
 - B. Rezoning request, portion of the property from A-1 Agricultural-Forestry District to C-2 General Commercial District. Property owner, C&A Properties, Applicant, Arlin Gurley, Hotchkiss Valley Rd., Tax Map 24, Parcels 37.00 & 38.00, Approximately 9.27 acres.
 - C. Site Plan for proposed office/warehouse, Applicant, Mark Bialik, Property owners, Ray Knick & Noah L. Myers, 255 Kevin Ln., Tax Map 007P, Parcel 001.00, C-2 General Commercial District, Approximately 1.15 acres.
 - D. Final Subdivision plat for 3 lots, Applicant, Richard LeMay for Property owner Gary Norman, 225 Woodlawn Rd., Lenoir City, Tax Map 002, Parcel 062.00, A-1 Agricultural-Forestry District, Approximately 4.02 acres.
 - E. Rezoning request from A-2 Rural Residential District to R-1 Suburban Residential District with Planned Unit Development (PUD) overlay, 2.5 units per acre for proposed 81 lot subdivision, Applicant, Capital Commercial, c/o Rodney Phillips, Property owner, Herbert Jenkins, 7431 Hwy 411, Tax Map 84, Parcel 44, Approximately 32.4 acres.
4. County Commission Action on Planning Commission Recommendations
5. Codes Department Building Activity Summary for February 2019 (attached)
6. Additional Public Comments

Serving Loudon County
Loudon • Greenback • Philadelphia

7. Update from Planning Department

8. Adjournment

Loudon County - Parcel: 016 214.04



Date: December 10, 2018

County: Loudon

Owner: WHEELER D J & TRUST CO OF

Address: BEALS CHAPEL RD 1025

Parcel Number: 016 214.04

Deeded Acreage: 35.44

Calculated Acreage: 0

Date of Imagery: 2015

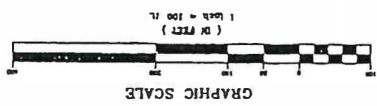
TN Comptroller - OLG
Esri, HERE, Garmin, © OpenStreetMap contributors
TDOT
State of Tennessee, Comptroller of the Treasury, Office of Local Government
(OLG)

The property lines are compiled from information maintained by our local county Assessor.

RESULTS THAT
SECTION A
AS REQUESTED
VALUATION
S.O.S. DATA
IN LINES
JULY

SANITARY SEWER
F.U.D.
WATER
ELECTRIC
CABLE
TELEPHONE
CABLE
TELEVISION
CABLE

NOTE: ALL UTILITIES SHOWN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE EXISTING UTILITIES AND HAS FOUND THEM TO BE IN GOOD CONDITION. THE ENGINEER HAS NOT CONDUCTED A DEEP INSPECTION OF THE UTILITIES AND THEREFORE CANNOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. THE ENGINEER HAS NOT CONDUCTED A DEEP INSPECTION OF THE UTILITIES AND THEREFORE CANNOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.



LeMAY AND ASSOCIATES CONSULTING ENGINEERS

PH: 865-671-0183 FAX: 865-671-0213
10816 KINGSTON PIKE
KNOXVILLE, TENNESSEE 37934



BLA
Preliminary
Bears Claves
District 3
GAIS



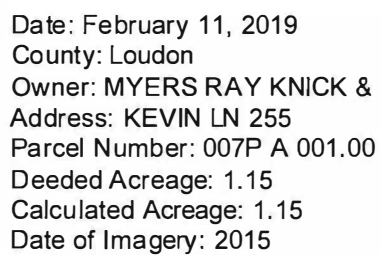
ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	Excavation	100	cu yd	10.00	1000.00
2	Backfill	100	cu yd	5.00	500.00
3	Gravel	100	cu yd	15.00	1500.00
4	Asphalt	100	sq yd	20.00	2000.00
5	Concrete	100	cu yd	30.00	3000.00

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
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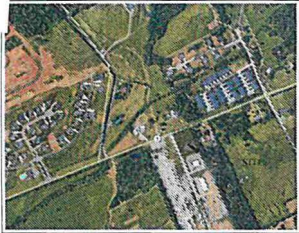


Date: February 28, 2019
 County: Loudon
 Owner: CLEVELAND JAMES F ETUX
 Address: HOTCHKISS VALLEY RD E 16350
 Parcel Number: 024 037.00
 Deeded Acreage: 4.27
 Calculated Acreage: 0
 Date of Imagery: 2015

TN Comptroller - OLG
 Esri, HERE, Garmin, © OpenStreetMap contributors
 TDOT
 State of Tennessee, Comptroller of the Treasury, Office of Local Government
 (OLG)



The property lines are compiled from information maintained by our local county Assessor's



Vicinity Map NTS

Site Development Plans for Office/Warehouse

Owned/Developed by:
MYERS BROS. HOLDINGS

12748 Kingston Pike
Knoxville, Tennessee 37934
(865) 675-3823
Attn: Mr. Noah Myers
Email: Noah@myers-bros.com

LEGEND		EXISTING	PROPOSED	EXISTING	PROPOSED
EXISTING					
WATER EDGE				CLEANOUT	
PROPERTY LINE				SANITARY MANHOLE	
P.O.B.				SEWER LINES	
POINT OF BEGINNING				OIL/WATER SEPARATOR LINES	
SILT FENCE				AIR LINES	
INLET PROTECTION				RAINWATER LEADERS	
OUTLET PROTECTION				CANOPY DRAINS	
CATCH BASIN				WATER METER	
CURB INLET				WATER VALVE	
DRAINAGE MANHOLE				FIRE HYDRANT	
REINFORCED CONCRETE PIPE				WATER LINES	
CORRUGATED METAL PIPE				OVERHEAD TELEPHONE	
MONITORING WELL				UNDERGROUND TELEPHONE	
SPOT ELEVATION				TELEPHONE BOX	
CURB SPOT ELEVATION				ELECTRIC BOX	
1 FT CONTOUR				12" DIAMETER AND POWER POLE	
5 FT CONTOUR				CITY ANCHOR	
5/8" DUTY CURB & GUTTER				METAL LIGHT POLE	
HEAVY DUTY CURB & GUTTER				18" X 18" CONCRETE POWER POLE	
EXTRUDED CURB				18" X 18" CONCRETE LIGHT POLE	
VERTICAL CURB				OVERHEAD ELECTRIC	
EXISTING PAVEMENT TO BE REMOVED				UNDERGROUND ELECTRIC	
PAVEMENT NO PARKING AREAS				GAS VALVE	
AUTO ASPHALT PAVEMENT				GAS METER	
1.5" ASPHALT OVERLAY				GAS LINE	
STD DUTY TRUCK ASPHALT				AQUASITE USE BUFFER	
HEAVY DUTY TRUCK ASPHALT				TOP OF STREAM BANK	
CONCRETE					
PERMEABLE PAVERS					

255 Kevin Ln, Tax ID 007P Group A, Parcel 001.00
Loudon County, Tennessee, 37772

DRAWING INDEX

REV	DESCRIPTION	DATE
01	C0.0 Cover Sheet	02/14/2019
02	S1 Survey	10/06/2017
03	C1.0 EP & SC Plan - Initial Phase	02/14/2019
04	C1.1 EP & SC Plan - Final Phase	02/14/2019
05	C3.0 Overall Site Plan	02/14/2019
06	C3.1 Site Layout Plan	02/14/2019
07	C4.0 Site Grading Plan	02/14/2019
08	C5.0 Site Paving Plan	02/14/2019
09	C6.0 Site Utility Plan	02/14/2019
10	C7.0 Site Landscape Plan	02/14/2019
11	C8.0 Site Details	02/14/2019
12	C9.0 Site Details	02/14/2019

REVISIONS



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV	DESCRIPTION	BY	DATE
-	-	-	-
-	-	-	-
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-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
TITLE: COVER SHEET		DRAWN BY: TIF	SHEET NO:
LOCATION:	255 KEVIN LANE NORTH CITY, TN Tax ID 007P, Group A, Parcel 001.00	CHECKED BY: MAB	C0.0
		FILE NAME: 2177_C00	
		JOB NUMBER: 2177	
Owner:	MYERS BROS. HOLDINGS	ISSUE DATE: 02/14/2019	



LEGEND

	SEWER MANHOLE
	CURB INLET
	POWER POLE
	WATER VALVE
	FIRE HYDRANT
	WATER MANHOLE
	IRON ROD FOLDED
	IRON ROD SET
_____ CLUTER LINE OF RIGHT-OF-WAY	
_____ BOUNDARY LINE	
_____ W	WATER LINE
_____ SS	SANITARY SEWER
_____ G	GAS LINE
_____ UG-1	UNDERGROUND TELEPHONE LINE
_____ STORM PIPE	

NOTES:

1. NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.
2. UNDEVELOPED OR UNOCCUPIED LOTS OR UNIMPROVED LOTS ARE SHOWN. OTHER UTILITIES MAY EXIST AND MAY NOT BE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE LOCATION OF ANY UTILITIES WHICH ARE NOT VISIBLE TO THE SURVEYOR.
3. NO CERTIFICATION IS MADE REGARDING ZONING CONFORMANCE.
4. DATA/INFORMATION OBTAINED FROM GPS SOLUTION AND ROTATED TO GRID.
5. BOUNDARY NO SCALE ACCURACY.
6. PROPERTY IS ZONED COMMERCIAL(C-2) SEE LOUISIANA COUNTY ZONING ORDINANCE FOR SETBACKS AND USAGE.
7. CONTOUR INTERVAL.
8. TOTAL LOT AREA IS 50,272 SQUARE FEET OR 1.154 ACRES.

SURVEYORS CERTIFICATE

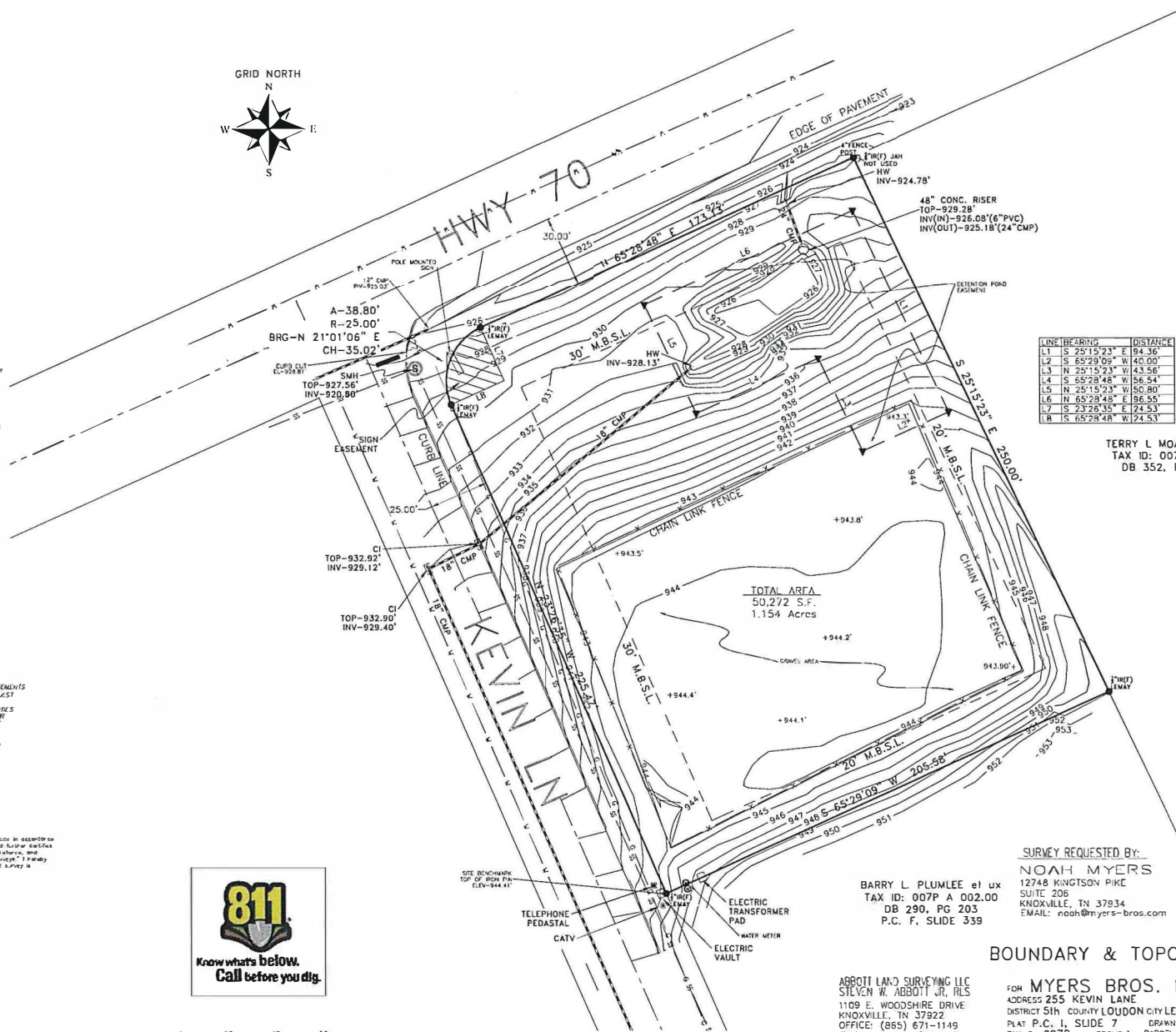
© 1999 BY MYERS BROTHERS HOLDINGS LLC.

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for the State of Tennessee," undersigned further certifies that the survey measurements were made in accordance with the "Minimum Angle, Distance, and

Closure Requirements for Survey Measurements Which Control Land Boundaries for Surveys: I hereby certify that this is a Category I Survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown herein.

Date: 7/5/18

Stanley C. O'V 2629



LINE	BEARING	DISTANCE
L1	S 25°15'23" E	94.36'
L2	S 65°29'09" W	40.00'
L3	N 25°15'23" W	43.56'
L4	S 65°28'48" W	56.54'
L5	N 25°15'23" W	50.80'
L6	N 65°28'48" E	96.55'
L7	S 23°26'35" E	24.53'
L8	S 65°28'48" W	24.53'

TERRY L MOATS et ux
TAX ID: 007 109.00
DB 352, PG 429

BARRY L. PLUMLEE et ux
TAX ID: 007P A 002.00
DB 290, PG 203
P.C. F, SLIDE 339

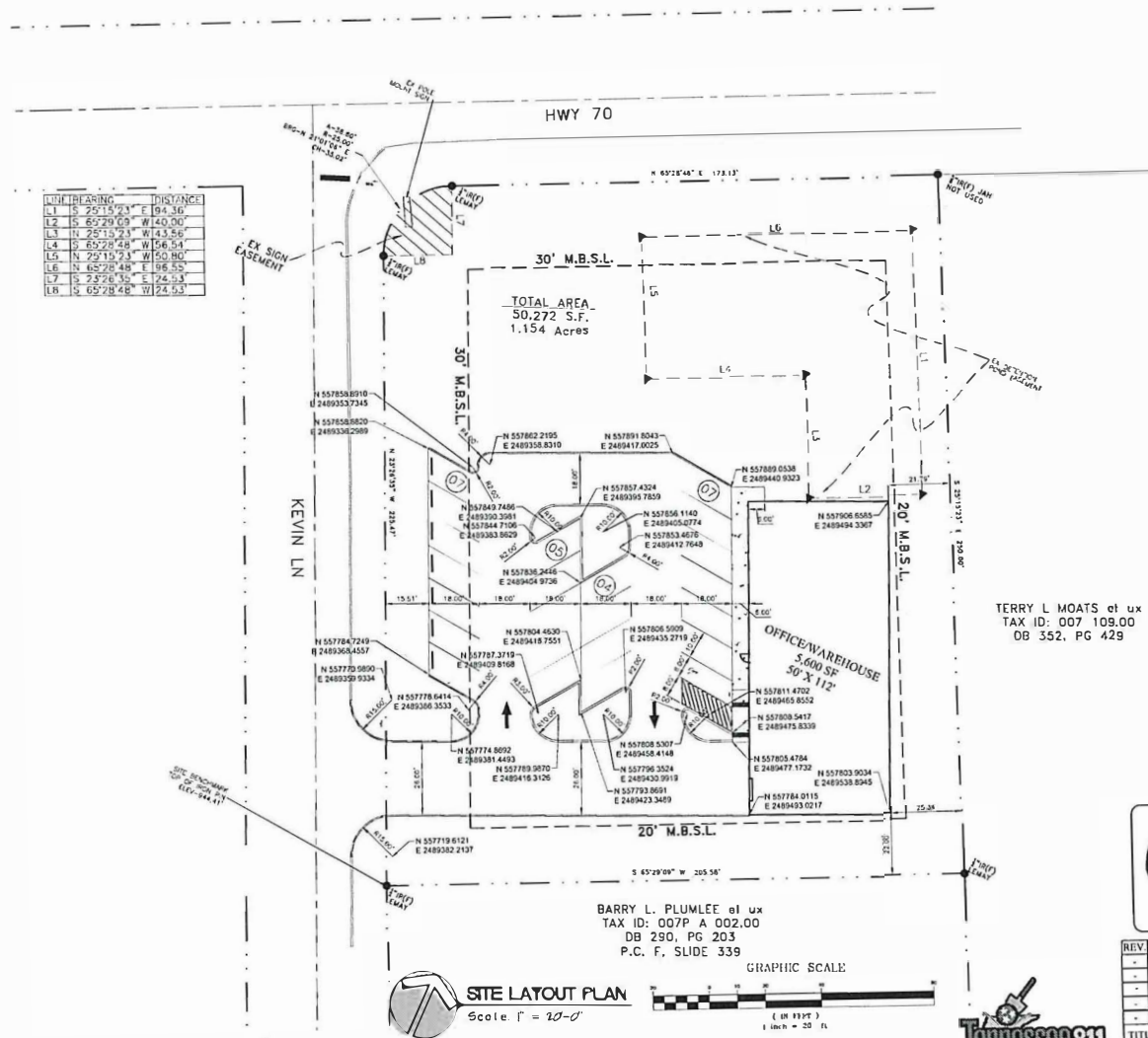
SURVEY REQUESTED BY:
NOAH MYERS
12748 KINGSTON PIKE
SUITE 206
KNOXVILLE, TN 37934
EMAIL: noah@myers-bros.com

OWNER
DARRELL BOWLIN
P.O. BOX 22171
KNOXVILLE, TN 37933

BOUNDARY & TOPOGRAPHIC SURVEY

ABBOTT LAND SURVEYING LLC
STEVEN W. ABBOTT JR., RLS
1109 E. WOODSHIRE DRIVE
KNOXVILLE, TN 37922
OFFICE: (865) 671-1149
EMAIL: survmap@tds.net

FOR MYERS BROS. HOLDINGS 71P 37772
ADDRESS 255 KEVIN LANE
DISTRICT 5th COUNTY LOUDON CITY LENOIR CITY STATE TN
PLAT P.C. I, SLIDE 7 DRAWN BY SWA
TAX ID 007P GROUP A PARCEL 001.00
WARRANTY DEED 34-DB 334. PG 319
DATE: 07/02/18 SCALE 1" = 20' DRAWING NUMBER 246718



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

TITLE: SITE LAYOUT PLAN	DRAWN BY: THF	SHEET NO:
LOCATION: 215 KEVIN LANE, LENOX CITY, TN	CHECKED BY: MAB	
Tax ID 007P, Group A, Parcel 001.00	FILE NAME: 2177 - C3.0	
Owner: MYERS BROS. HOLDINGS	JOB NUMBER: 2177	
	ISSUE DATE: 02/14/2019	



S.F.F. DRAWING C.O. FOR LEGEND

C3.1

1. INSTALL STABILIZED CONSTRUCTION EXIT THIS WILL BE THE FIRST CONSTRUCTION WORK ON THE PROJECT.
2. INSTALL SILT FENCE AS SHOWN IN INITIAL PHASE PLAN.
3. CLEAR AND GRUB SITE. STORE TOP SOIL FOR REUSE. CONTRACTOR TO COORDINATE LOCATION WITH CONSTRUCTION MANAGER. PROTECT WITH TARP, SILT FENCE, ETC.

- ① CONSTRUCTION ENTRANCE
- ② SILT FENCE (WIRE SUPPORTED) AS DETAILED IN THE TDEC BMP MANUAL (CHAPTER 7.34), PROVIDED AND INSTALLED BY CONTRACTOR
- ③ INLET PROTECTION TO BE SILT/SAND SEDIMENT CONTROL AT ALL PLOTS BY ACF ENVIRONMENT AND AS DETAILED IN THE TDEC BMP MANUAL (CHAPTER 7.35), CONTRACTOR TO PROVIDE AND INSTALL.
- ④ CONCRETE TRUCK WASH DOWN AREA (TDEC BMP MANUAL CHAPTER 7.16), ACTUAL LOCATION TO BE DETERMINED BY THE CONTRACTOR AND THE DEVELOPER'S CONSTRUCTION MANAGER

11. THE CONTRACTOR SHALL DESIGNATE A PERSON ON SITE RESPONSIBLE FOR MONITORING THE CONSTRUCTION OF THE EROSION CONTROL MEASURES AND PRACTICES. WHEN SELECTED, THIS PERSON SHALL BE REQUIRED TO MAINTAIN RECORDS OF THE CONSTRUCTION OF THE EROSION CONTROL MEASURES AND PRACTICES. THE RECORDS SHALL BE SUBMITTED TO THE DISTRICT ENGINEER OF EROSION PREVENTION AND SEDIMENT CONTROL ON COMPLETION OF THE PROJECT AND A COPY OF THE CERTIFICATE VERIFYING THE COMPLETION OF THE EROSION CONTROL MEASURES SHALL BE LEFT ON LOCATION ON THE CONSTRUCTION SITE.
12. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL HANDBOOK, 1992 EDITION, AS REQUIRED BY THE DISTRICT ENGINEER OF EROSION PREVENTION. SHOWN ON THE DRAWINGS AS THE MINIMUM REQUIRED. THE CONTRACTOR SHALL MAINTAIN ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT DISTURBANCE TO EXISTING GRADING COVER. THEY MUST REMAIN IN PLACE UNTIL THE EXISTING GRADING COVER IS REINSTALLED.
13. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED FOR A LIMITED PERIOD OF TIME. THE SEEDING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY EROSION CONTROL MEASURES TO EXPOSED SURFACES WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 7 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED FOR A LIMITED PERIOD OF TIME. THE SEEDING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY PERMANENT SEEDING TO ALL NON CONSTRUCTION DISTURBED AREAS. APPLY PERMANENT SEEDING TO ALL NON CONSTRUCTION DISTURBED AREAS.
14. PERMANENT SEEDING SHALL BE DROUGHT TOLERANT, HYBRID KENTUCKY 31 FESCUE (LACUAR, LACUON PER, FACUIN ETC.) SEED AT RATE OF 6-8 POUNDS PER ACRE. SEED SHALL BE COVERED WITH 1/4" OF TOP SOIL. APPLY FERTILIZER WITH A POUND PER 1000 SQUARE FEET OF NITROGEN IF THE SEEDING IS FORMERED IN THE SPRING. SEEDING SHALL BE COMPLETED WITH A WINTER RYER OR OTHER APPROPRIATE MIXTURE ABOVE STATE LOCATION DURING THE WINTER ZONE.
15. APPLY MULCH TO ALL EXPOSED AREAS WITHIN 100 FEET OF THE SEEDING AREAS.
16. IN THE EVENT OF VEHICLES TRAVELING OVER THE GRAVEL OF THE CONSTRUCTION SITE IT IS NOT SUFFICIENT TO DRAIN THE MAJORITY OF DIRT FROM THE WHEELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EROSION PREVENTION PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT PRIOR TO IT ALLOWED TO LEAVE THE CONSTRUCTION SITE.
17. ALL MATERIALS SPILLED, DROPPED, WASHED ON TRACTOR/POWDER VEHICLES OR TRUCKS SHALL BE IMMEDIATELY CLEANED UP. THE CONTRACTOR SHALL PROVIDE PERMISSIBLE PAVINGERS ARE INSTALLED ALLOW CONSTRUCTION TO PROCEED WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL PROVIDE PERMISSIBLE PAVINGERS SHALL BE WASHED, SIFTED, INSPECTED FOR ANY DEFECTS, THE REPAIRS MADE AND NEW SAND ADDED TO THE REPAIRS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE PERMISSIBLE PAVINGERS THROUGHOUT THE PROJECT.
18. UPON COMPLETION OF THE STABILIZATION OF THE SITE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED OR MODIFIED TO BE REVERSE-DESIGNED TO BECOME A PERMANENT SOURCE FOR STORMWATER DRAINAGE.
19. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY CONSTRUCTED PARKING AND STORAGE AREAS. THE EQUIPMENT MAINTENANCE AND STORAGE SHALL BE LOCATED IN AN AREA THAT IS NOT NEAR ANY PORTABLE FACILITIES. CONCRETE WASH/DROPPED, EXCESS TRAILER AND TOILET FACILITIES.
20. THE CONTRACTOR SHALL MAINTAIN BARRIERS, BUFFER, BIOLOGICAL SITES, ETC. SHALL BE BUILT AND MAINTAINED AND KEPT FREE OF CONSTRUCTION

ALL OF THE PROPERTY IS DETERMINED TO BE INSIDE
ZONE X. FLOOD INFORMATION TAKEN FROM FIRM MAP
PANEL F47105C0125D, PANEL 125 OF 300, REVISED
05/16/2007.

SITE IS LOCATED 255 KEVIN LN, TAX ID NUMBER 007P,
GROUP A, PARCEL 001.00. THE VERTICAL DATUM USED
NAVD88.

A PRE-CONSTRUCTION MEETING WITH THE LOUDON COUNTY ENGINEERING IS REQUIRED PRIOR TO START OF CONSTRUCTION. CONTACT XXX AT XXX-XXXX TO SCHEDULE.

CONTRACTOR IS RESPONSIBLE FOR ALL "AS-BUILT"
SURVEYS REQUIRED FOR THE CERTIFICATE OF
OCCUPANCY FROM LOUDON COUNTY.

TERRY L MOATS et ux
TAX ID: 007 109.00
DB 352, PG 429

ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION ARE SHALL BE THE RESPONSIBILITY OF THE GRADING PERMITEE.

BARRY L. PLUMLEE et ux
TAX ID: 007P A 002.00
DB 290, PG 203
P.C. F, SLIDE 339
TOTAL LIMIT OF DISTURBANCE
INITIAL PHASE = 0.07 ACRES

EP + SC PLAN - INITIAL PHASE

Scale: 1" = 20'-0"

GRAPHIC SCALE

(IN 1337)
i incl - 20 ft



Tennessee 81
 Answer yours below.
 Call before you die.

SEE DRAWING C0.0 FOR LEGEND

GBS
engineering

1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

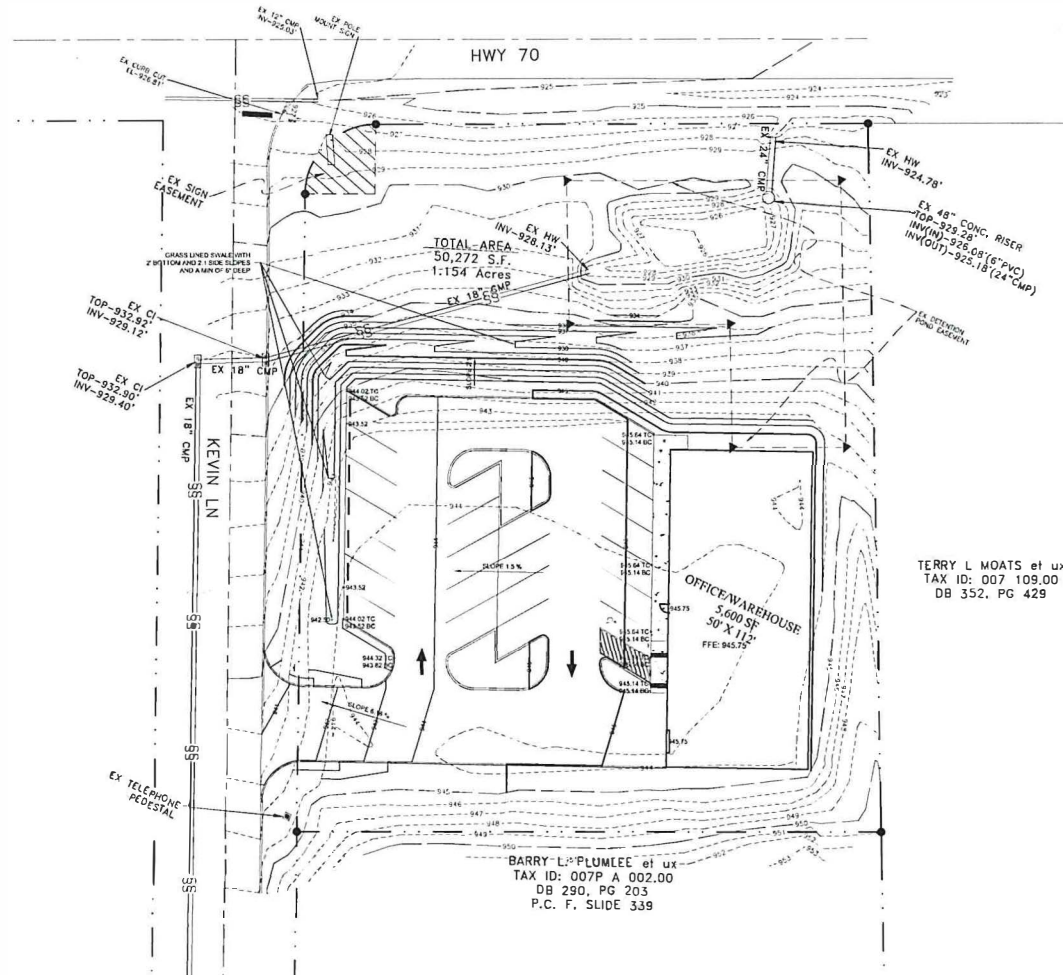


REV	DESCRIPTION	BY	DATE
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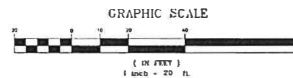
TITLE:	EP & SC PLAN - INITIAL PHASE	DRAWN BY:	THF	SHEET NO.
LOCATION:	255 KEVIN LANE LENGER CITY, TN Tax ID 007P, Group A, Parcel 00.00	CHECKED BY:	MAB	
		FILE NAME:	2177 - C1.0	
		JOB NUMBER:	2177	
Owner:	MYERS BROS. HOLDINGS	ISSUE DATE:	02/14/2019	

C1.0

C1.0



SITE GRADING PLAN
Scale: 1" = 20'-0"



SITE GRADING, DRAINAGE & EROSION CONTROL DETAIL
REFERENCE LEGEND
SCALE: REFER TO DETAIL
HW HEADWALL
BO BASIN OUTLET STRUCTURE
CI CURB INLET
CH CATCH BASIN
RCP REINFORCED CONCRETE PIPE, CLASS III
SRMP SPIRAL RIBBED METAL PIPE, CLASS III
BC BOTTOM UP CURB
TC TOP OF CURB
BW BOTTOM OF WALL
TW TOP OF WALL
TP ELEVATION OF PAVEMENT
TF TOP OF PAVEMENT

STRIPPING AND COMPACTION SCHEDULE

Topsoil stripping depth 2"-3" average. Deeper if required locally.

Required compaction percentages (% max dry density)
Standard Proctor Method ASTM Test # D-696
Building Area: 98% Parking Area: 85%

TESTING

Allow 1 compaction test per ea. 2500 S.F. (Max 50' x 50' area) per lift at building areas.
Allow 1 compaction test per ea. 10,000 S.F. of cut or natural grade at building area.
Allow 1 compaction test per ea. 3500 S.F. (Max 75' x 75' area) per lift at parking area.
Allow 1 compaction test per ea. 40,000 S.F. of cut or natural grade at parking area.

Maximum loose lot thickness shall be 6", unless noted otherwise.

EXCAVATION AND GRADING NOTES

CLEARING

Comply with local and state ordinances regarding disposal of debris. Do not burn debris on site without specific written approval of both SHITE, Inc. and local authority. Clear and grub for new construction as required.

EXCAVATION PREPARATION

Verify location of existing on-site utilities. Protect and maintain existing utilities as required. Establish and verify existing lines, grade and dimensions shown on the drawing. Report any utility or encroachment to SHITE, Inc. for future encroachment of work.

EXISTING TOPO ACCURACY

Existing contours shown are intended to form a general description of surface ground elevations. Topographic information shown herein shall be considered to have no more than the following Plan or minus line of accuracy: 0.10 feet at building area, 0.25 feet at spot grades, 1.0 foot at contour lines.

Contractor is cautioned that straight line interpolation between contours may not exactly reflect existing conditions. Areas of relatively quick changes in contours should not be allowed to unduly influence interpretation of contour.

Report any errors or omissions to SHITE Engineering before commencement of work. Any error not so reported cannot be considered for adjustment in contract price.

STRIPPING AND SPREADING TOPSOIL

Topsoil shall be stripped and temporarily stockpiled for later reuse. If no stockpile area is noted on grading plan, stockpile shall be in such place to provide for ready access to necessary areas if one by other makes throughout progress of work. Particular attention shall be paid to strictly vertical exposed that will be covered by landscape contractor. Gravel topsoil depending on it by by grading contractor to a maximum depth of 6" at any point except on slope of 2:1 or steeper where exposed depth shall be 2" max. Any point not receiving soil.

PROOF-ROLLING

All areas to receive new structural fill or other new construction shall be proof-rolled with a fully loaded tandem dump truck in presence of each existing area before commencing any construction activity. All areas to be completed shall receive 8 passes with 10-ton tandem roller. Soil engineer shall notify SHITE Engineering that all areas have passed proof roll inspection before commencement of fill or grading. The new construction grading prior to such notification.

UNDERCUT-BACKFILL

Undercut shall mean excavation or other removal of unsuitable material below elevation of proposed final subgrade. To no case shall the term undercut be used to describe material removed above final subgrade elevation. Extent of undercut of unsuitable material, if any must be recommended by the soil engineer for the owner's approval. Soil engineer shall not have unilateral authority to direct undercut areas over without approval of the owner's representative. Soil engineer's written field notes will be required as substantiation of undercut. Backfill shall be of approved material only. Warranty for required testing shall be included in quoted prices concerning undercut and backfill.

New terms of bidding call for an unexcused contract no payment for undercut backfill will be considered. Such work shall be included in the contractor's bid. Undercut and backfill shall not constitute an extra to the contract in unexcused conditions.

STRUCTURAL FILL

Structural fill shall be compacted as specified in excavation and grading schedule within 1 to 3" of optimum moisture content. Off the bottom approved by SHITE Engineering. Place fill and backfill in layers as specified in excavation and grading notes. Use no decomposed material, organic, or rock larger than 6". In no case shall any required additional water or any required additional dry to reach optimum moisture content for compaction.

GRADING TOLERANCE

Grading contractor shall bring subgrade to within an average of 1/10 of one foot of required elevation to show finished grade indicated on drawings except at locations where spot elevations are shown and where floor elevations are shown which shall be within 1/10 of 1 foot of required elevation. Final subgrade shall be spot checked by a licensed surveyor with not less than 1 inch per 1.5 Acres and at each finished floor elevation and a drawing provided and forwarded to SHITE Engineering for approval prior to commencing floor grade or paving or building construction.

Contractor shall be responsible for minor adjustments in grades as directed by SHITE Engineering. Such changes shall be limited to 1500 cubic yards total. No additional cost will be allowed for this work.

TESTING

Contractor shall include price of all required testing as set forth herein to be performed by an independent qualified geotechnical testing agent available to SHITE Engineering. Test reports must use graphic location map at 1" = 200' scale for location of activity area. Original reports of all tests shall be forwarded directly to SHITE Engineering from testing agent. All tests shall specifically state that the test results show no field or test results. Contractor shall include in his bid but 5 (five) soil compaction tests after completion of all work, based on SHITE Engineering.

WATER CONTROL

The contractor shall furnish all labor, materials and equipment necessary to keep the work free of water other than surface water or from underground sources or both. Selection of equipment and methods shall be the sole responsibility of the contractor. The contractor shall be and is responsible for all damage incurred in handling water control. Additionally, the contractor shall provide means necessary to avoid direct run-off from his project into adjacent property.

GRASSING AND SODDING

Grassing and sodding of all disturbed areas on paved or built upon shall be the responsibility of the grading contractor unless noted otherwise. Sodding shall be to a depth of 6" and sod must be installed in good before sodding.

Grass and sodding shall be as specified on the drawings.

EROSION CONTROL

Contractor shall refer to Storm Water Pollution Prevention Plan for Erosion Control measures and details.

SAFETY SCREENS

Safety screens having a maximum opening of 4" shall be provided for any pipe or opening to prevent children or large animals from entering into the structure. Screens shall be welded 3" bars @ 8" O.C. Each way.

PERMITS

Contractor shall pay all grading permit fees and post grading bond, if required.

GBS
engineering

1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



SEE DRAWING C00 FOR LEGEND.

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TITLE: SITE GRADING PLAN
LOCATION: 255 KEVIN LANE
LENDOR CITY, TN
Tax ID 007P, Group A, Parcel 001.00

Owner: MYERS BROS. HOLDINGS

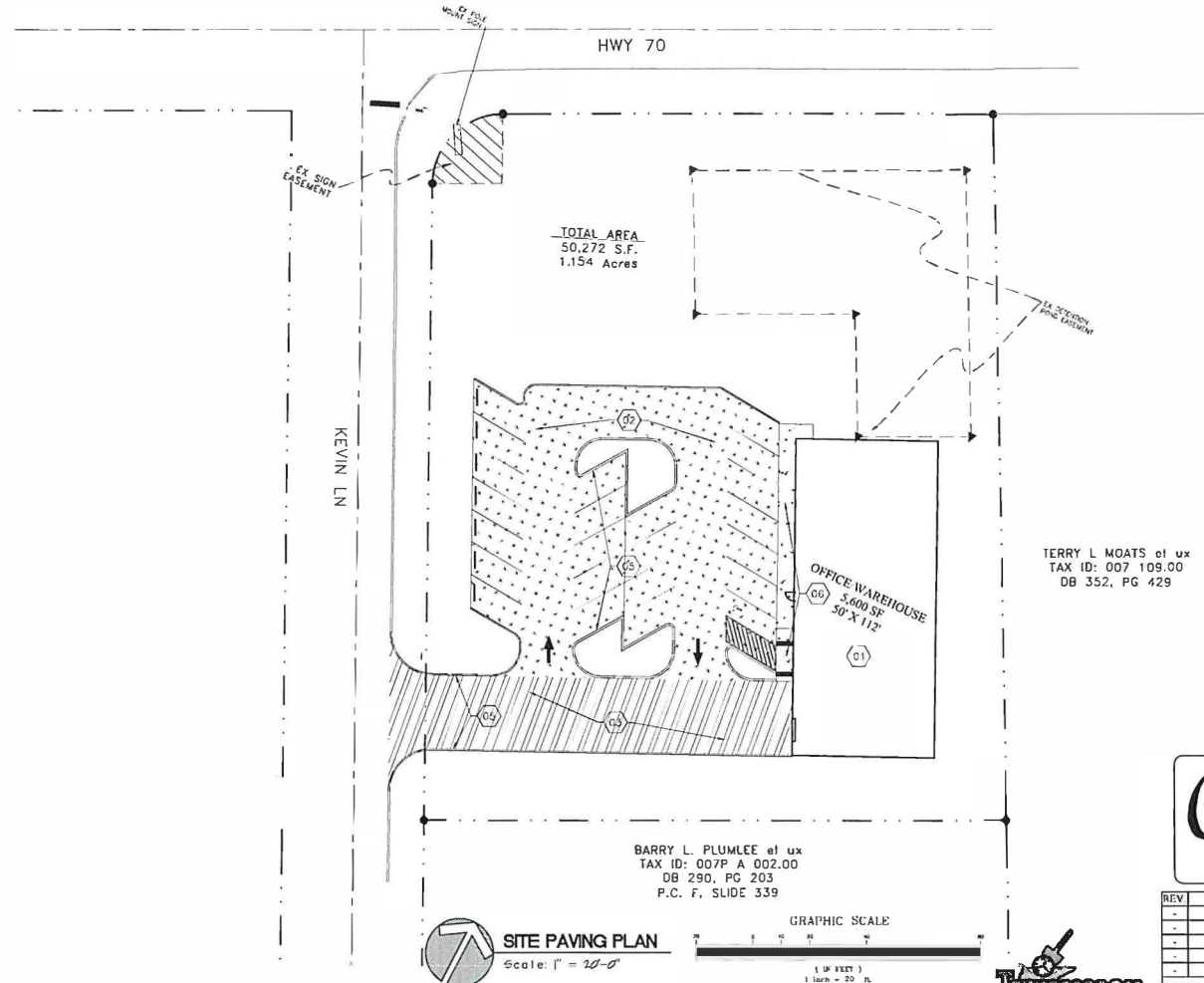
DRAWN BY: THF
CHECKED BY: MAB
FILE NAME: 2177 - C4.0
JOB NUMBER: 2177
ISSUE DATE: 02/14/2019

SHEET NO.:

C4.0

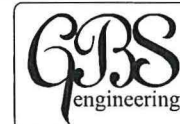
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- CONSTRUCTION NOTES
1. NEW BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 2. STANDARD-DUTY ASPHALT PAVEMENT, SEE DRAWING C5.0 FOR MORE DETAILS.
 3. HEAVY-DUTY ASPHALT PAVEMENT, SEE DRAWING C5.0 FOR MORE DETAILS.
 4. CONCRETE PAVEMENT, SEE DRAWING C5.0 FOR MORE DETAILS.
 5. CONCRETE EXTRUDED CURB, SEE DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
 6. 4\"/>



GENERAL PAVING NOTES

01. ALL MANHOLES LIDS MUST BE SET FLUSH WITH ADJACENT PAVERS.
02. SUB GRADE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
03. STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.



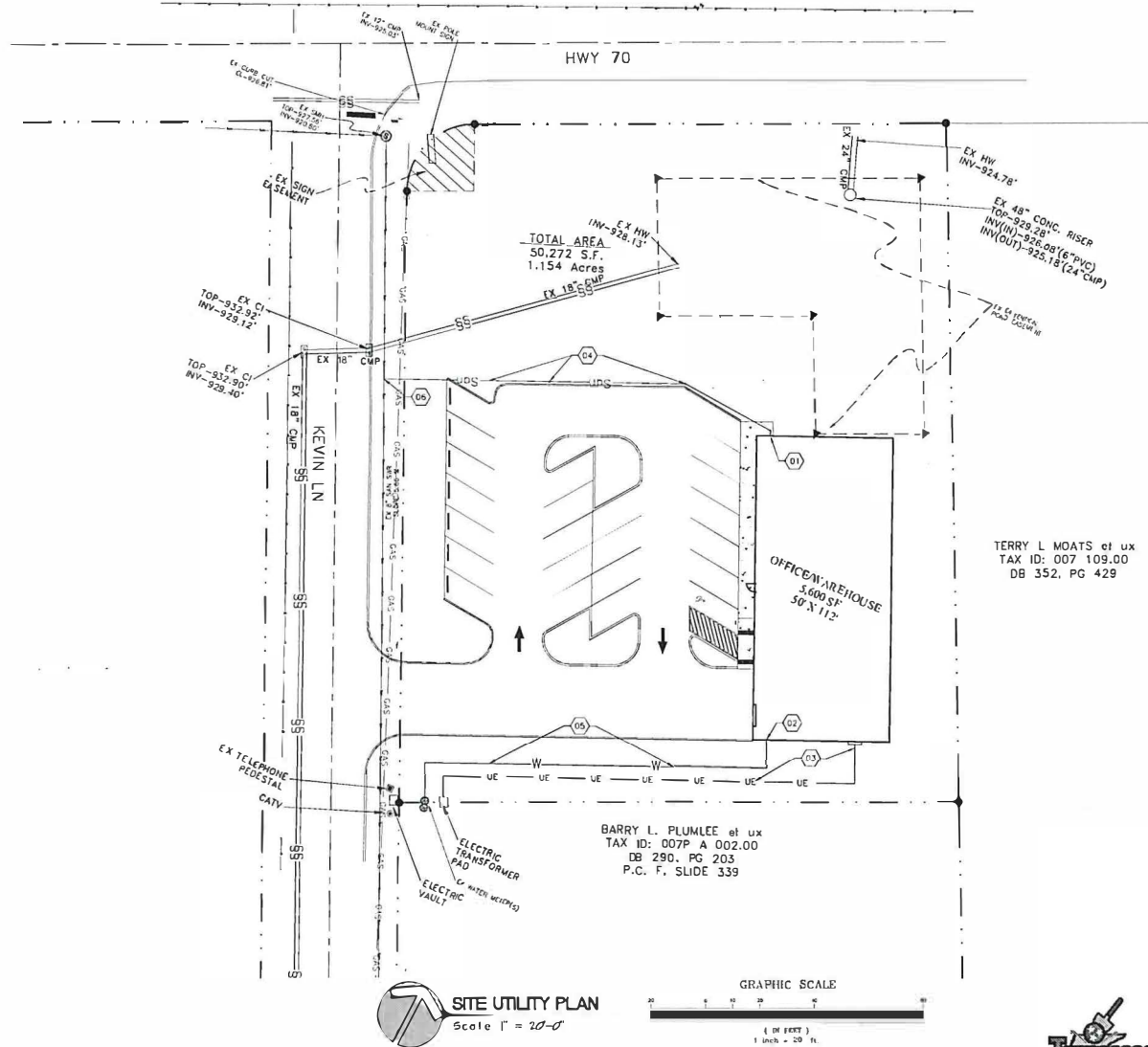
1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



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TITLE: SITE PAVING PLAN	DRAWN BY: THF	SHEET NO.:
LOCATION: 255 KEVIN LANE LENOIR CITY, TN Tax ID 007P, Group A, Parcel 001.00	CHECKED BY: MAB FILE NAME: 2177 - C5.0 JOB NUMBER: 2177	
Owner: MYERS BROS. HOLDINGS	ISSUE DATE: 02/14/2019	

C5.0



UTILITY PLAN CONSTRUCTION NOTES

- (2) CONTRACTOR TO CONNECT TO PWS BUILDING SANITARY SEWER LINE (4'00" IN. BELOW FF)
 (3) CONTRACTOR TO CONNECT TO 1" WATER SERVICE LINE AT BUILDING
 (4) CONTRACTOR TO INSTALL ELECTRICAL SERVICE LINE FROM ELECTRICAL TRANSFORMER PAD TO BUILDING ELECTRICAL PANELS
 (5) CONTRACTOR TO PROVIDE AND INSTALL 8" P.C. SANITARY SEWER SERVICE WITH THE APPROPRIATE CLEANOUTS TO THE LENOIR CITY UTILITIES BOARD SPECIFICATIONS. MINIMUM SLOPE SHALL BE 1.00 %
 (6) CONTRACTOR SHALL PROVIDE AND INSTALL NEW 1" WATER SERVICE PER LENOIR CITY UTILITIES BOARD REQUIREMENTS. CONTRACTOR COORDINATE WITH LCUAS AND PAY ALL FEES
 (7) CONTRACTOR SHALL COORDINATE WITH LENOIR CITY UTILITIES BOARD TO CONNECT TO THE EXISTING SANITARY SEWER LINE. CONTRACTOR SHALL PAY ANY AND ALL FEES ASSOCIATED WITH TAPPING THE SANITARY SEWER.

LOCAL UTILITY PROVIDERS

- | | |
|---|---|
| 1. LENOIR CITY UTILITIES BOARD
WATER, HERBERT STANTON
200 DEPOT STREET
LENOIR CITY, TENNESSEE 37711
PHONE 845-5044-27 | 5. TOSTELEC
COMMUNICATIONS - FOM INTL
281 CONCORD ROAD
MOBILE, TENNESSEE 37934
PHONE 865-541-1748 |
| 2. LENOIR CITY UTILITIES BOARD
SANITARY - LEOH SHIELDS
200 DEPOT STREET
LENOIR CITY, TENNESSEE 37711
PHONE 845-5044-27 | 6. RURAL METRO FIRE DEPARTMENT
LOCAL FIRE DEPARTMENT
921N CALHOUN AVE, SUITE 102
MOBILE, TENNESSEE 37921
PHONE 845-540-2209 |
| 3. LENOIR CITY UTILITIES BOARD
ELECTRIC - ASH MEDANO
200 DEPOT STREET
LENOIR CITY, TENNESSEE 37711
PHONE 845-5044-715 | 7. TENNESSEE DEPARTMENT OF TRANSPORTATION
7245 REGIONAL AVENUE
MOBILE, TENNESSEE 37914
PHONE 865-548-2410 |
| 4. LENOIR CITY UTILITIES BOARD
NATURAL GAS - SHAWNE WALLEY
200 DEPOT STREET
LENOIR CITY, TENNESSEE 37711
PHONE 844-687-2352 | |



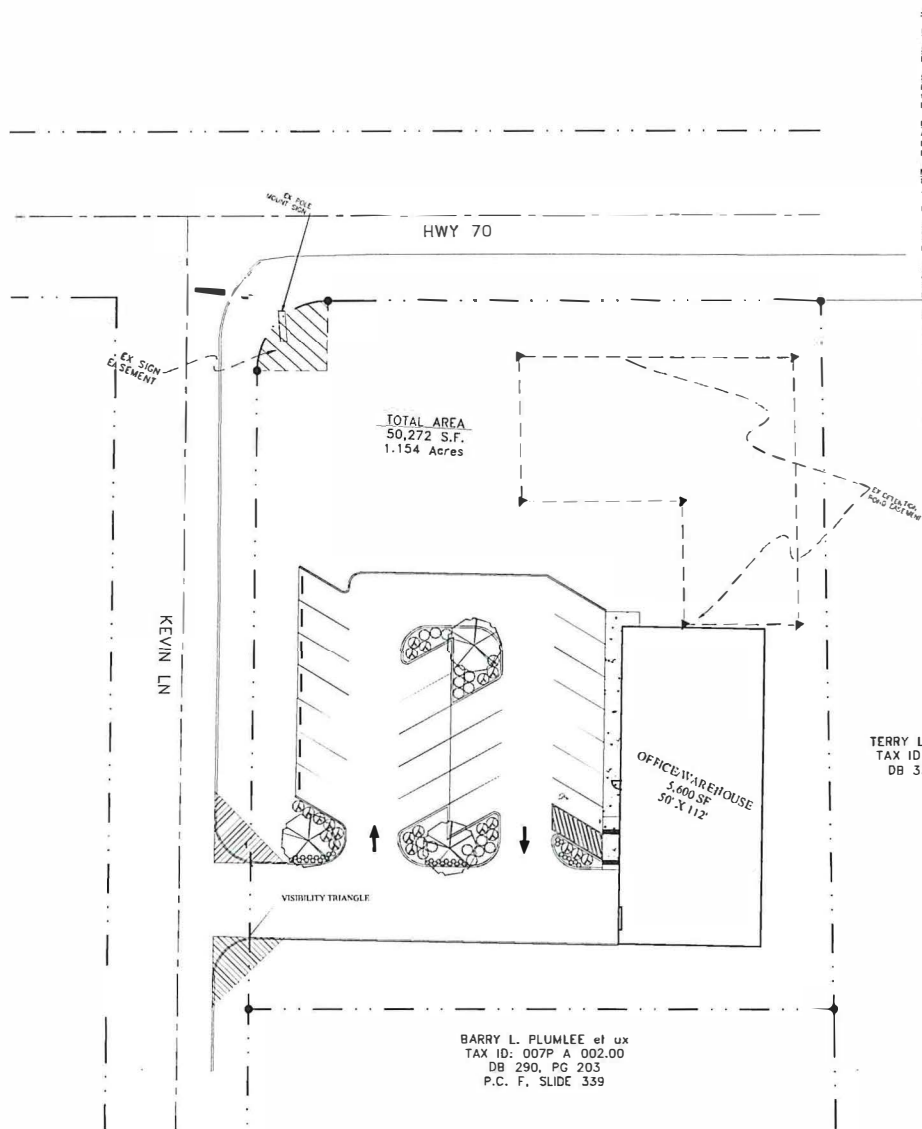
1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



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TITLE: SITE UTILITY PLAN		DRAWN BY: THF	SHEET NO:
LOCATION: 255 KEVIN LANE LENOIR CITY, TN		CHECKED BY: MAB	C6.0
Tax ID 007P, Group A, Parcel 001.00		FILE NAME: 2177 - C6.0	
Owner: MYERS DROS. HOLDINGS		JOB NUMBER: 2177	
		ISSUE DATE: 02/14/2019	

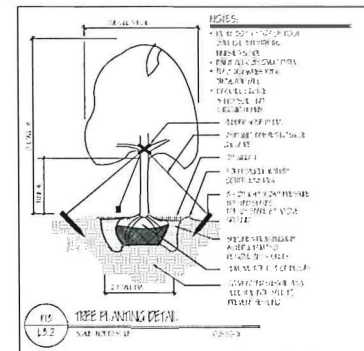
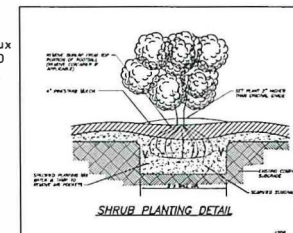
C6.0



PLANET	CONJUNCTION	CONJUNCTION DATE	ASTROLOGER	COMMENTS
	QUINTILE VENUS	APRIL 20, 1974	STANLEY	5
	CONJUNCTION JUPITER	DECEMBER 1974	STANLEY	12
	CONJUNCTION SATURN	APRIL 1975	STANLEY	16
	TRINE SATURN	APRIL 1975	STANLEY	15

GBS
engineering

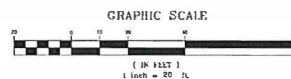
1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



BARRY L. PLUMLEE et ux
TAX ID: 007P A 002.00
DB 290, PG 203
P.C. F, SLIDE 339



SITE LANDSCAPE PLAN
Scale: 1" = 20'-0"

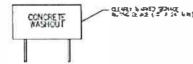
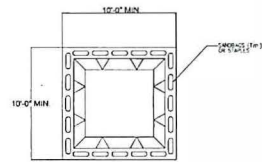


SEE DRAWING CO.0 FOR LEGEND

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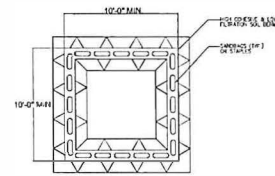
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LOCATION: 255 KEVIN LANE LENOIR CITY, TN TaxID 007P, GSDPA, Parc00100		CHECKED BY: MAB	C7.0
		FILE NAME: 2177 - C7.0	
		JOB NUMBER: 2177	
D. Owner: MYERS BROS. HOLDINGS	ISSUE DATE: 02/14/2019		

C7.0



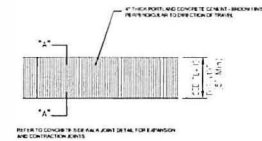
BELOW GRADE WASHOUT STRUCTURE
NTS

- NOTES:
1. ACTUAL LOCATION DETERMINED IN FIELD
 2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY
 3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

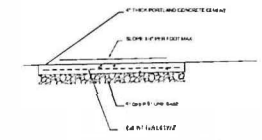


ABOVE GRADE WASHOUT STRUCTURE
NTS

- NOTES:
1. ACTUAL LOCATION DETERMINED IN FIELD
 2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY TO PROVIDE ACCURATE WASHING CAPACITY WITH A MINIMUM 12 HOURS OF FREEDRAIN
 3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

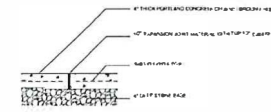


Sidewalk Plan

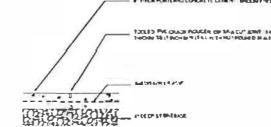


Sidewalk Section A-A

01 CONCRETE SIDEWALK DETAILS
NTS



Expansion Joint

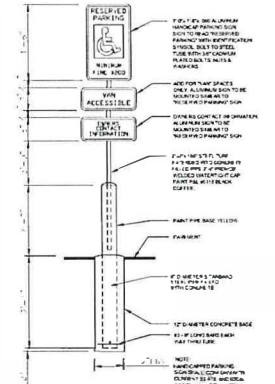


Contraction Joint

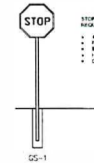
NOTES:

1. CONCRETE JOINTS SHALL BE MAINTAINED WITH THE FOLLOWING:
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02 CONCRETE SIDEWALK JOINT DETAILS
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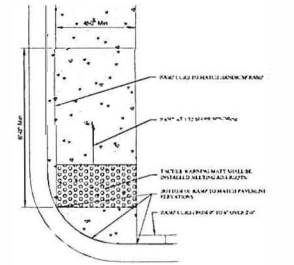
03 ABOVE GRADE HANDICAP SIGN
NTS



04 STOP SIGN DETAIL
NTS



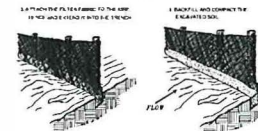
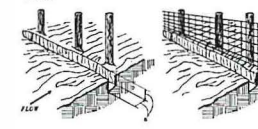
05 HANDICAP SYMBOL
NTS



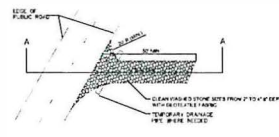
06 HANDICAP RAMP DETAIL
NTS

CONSTRUCTION OF A SILT FENCE (WITH WIRE SUPPORT)

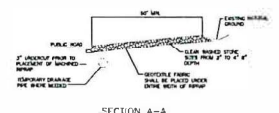
1. 14 PLY 1/2\"/>



07 SILT FENCE WITH WIRE SUPPORT
NTS



PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD



08 CONSTRUCTION EXIT
NTS

GBS
engineering

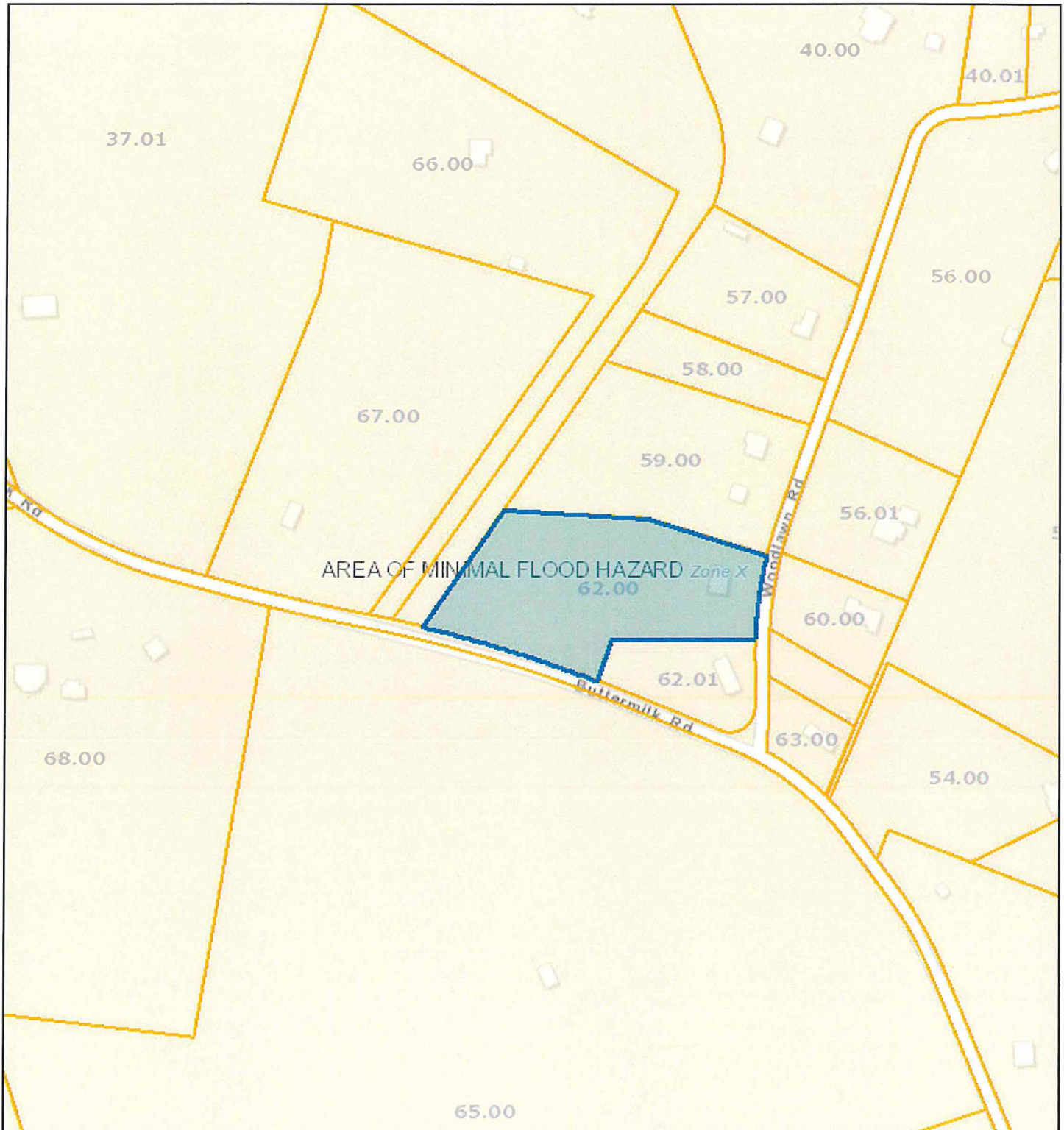
1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



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TITLE:	SITE DETAILS	DRAWN BY:	TIF	SHEET NO:	
LOCATION:	255 KEVIN LANE LENOIR CITY, TN Tax ID 007P, Group A, Parcel 001.00	CHECKED BY:	MAB	FILE NAME:	2177 - C8.0
Owner:	MYERS BROS. HOLDINGS	JOIN NUMBER:	2177	ISSUE DATE:	02/14/2019
					C8.0

Loudon County - Parcel: 002 062.00



Date: March 11, 2019
County: Loudon
Owner: NORMAN GARY ETUX
Address: WOODLAWN RD 225
Parcel Number: 002 062.00
Deeded Acreage: 4.02
Calculated Acreage: 4.02
Date of Imagery: 2015

TN Comptroller - OLG
State of Tennessee, Comptroller of the Treasury, Office of Local Government (OLG)
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

The property lines are compiled from information maintained by the local county Assessor's

CERTIFICATION OF ACCURACY

I CERTIFY THAT THE PLAT SHOWN AND DESCRIBED HEREON, IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE REGIONAL PLANNING COMMISSION AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE REGIONAL PLANNING COMMISSION.

9-25-18

DATE

REGISTER SURVEYOR
TENN. REG. NO. 769

LEGEND

- IRON ROD (NEW)
- IRON ROD (OLD)

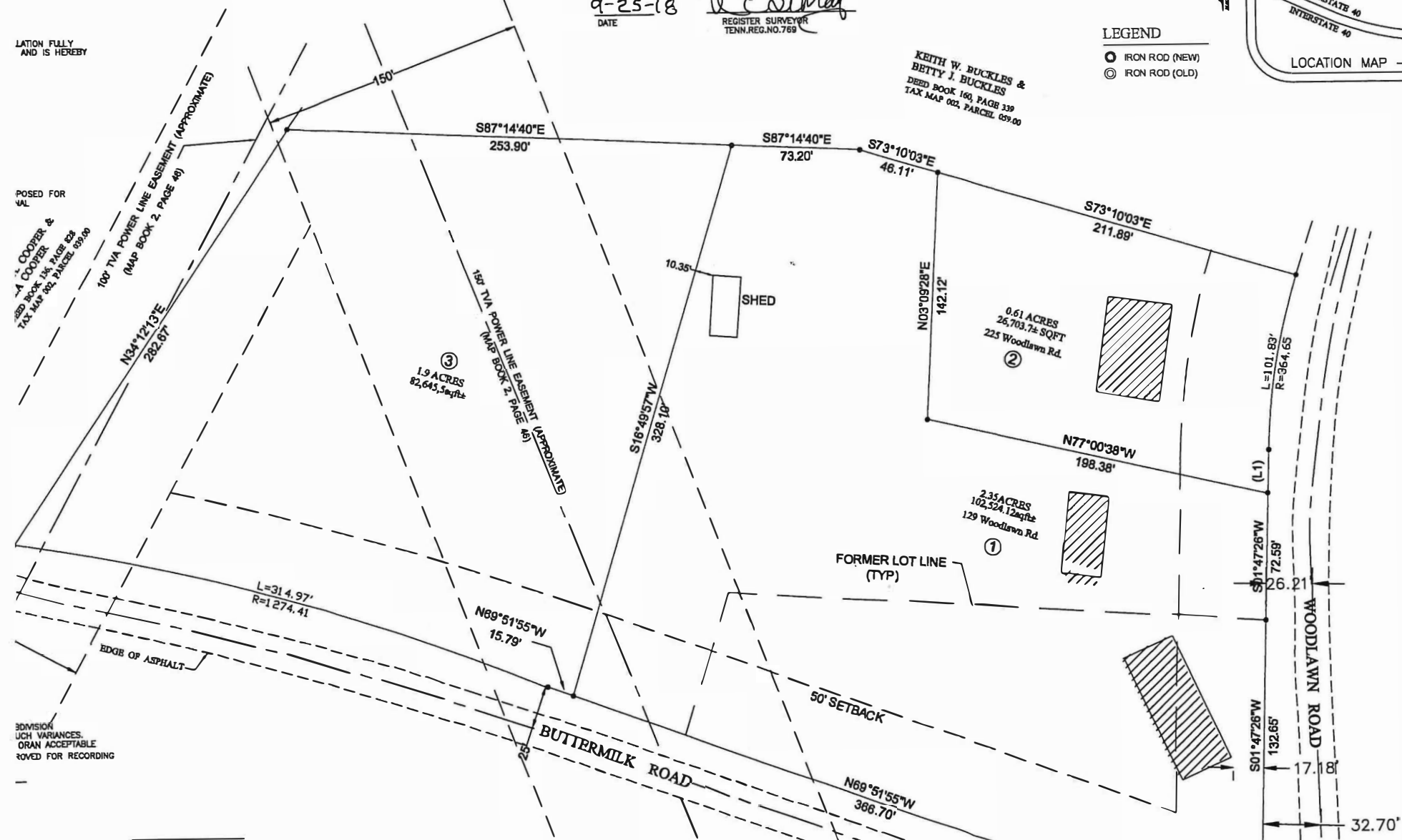
INTERSTATE 40
INTERSTATE 40

LOCATION MAP

KEITH W. BUCKLES &
BETTY J. BUCKLES
DEED BOOK 160, PAGE 339
TAX MAP 002, PARCEL 059.00

LATION FULLY
AND IS HEREBYPOSED FOR
\$4L

COOPER &
COOPER
DEED BOOK 114, PAGE 124
TAX MAP 002, PARCEL 059.00



ITEM D

Loudon County - Parcel: 084 044.00



Date: March 11, 2019

County: Loudon

Owner: JENKINS HERBERT

Address: HWY 411 7431

Parcel Number: 084 044.00

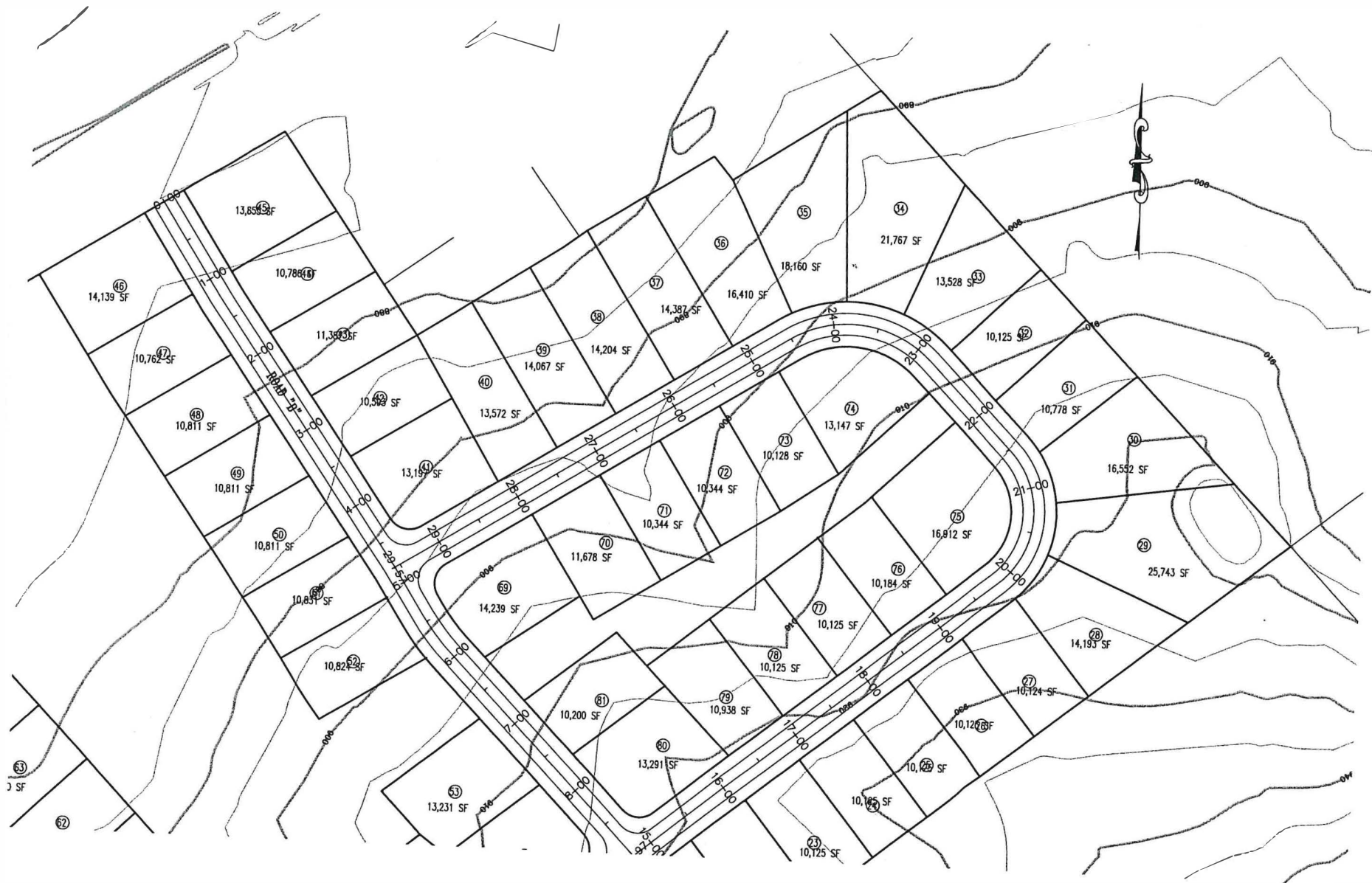
Deeded Acreage: 32.45

Calculated Acreage: 32.45

Date of Imagery: 2015

TN Comptroller - OLG
Esri, HERE, Garmin, © OpenStreetMap contributors
TDOT
State of Tennessee, Comptroller of the Treasury, Office of Local Government
(OLG)

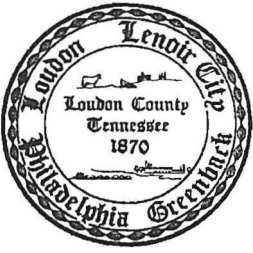
The property lines are compiled from information maintained by the local county Assessor's



CODES DEPARTMENT BUILDING ACTIVITY SUMMARY

Month	2019	Fees	Value	2018	Fees	Value	2017	Fees	Value	2016
January	43	\$36,267	\$10,581,553	50	\$ 33,482	\$9,276,834	33	\$23,564	\$6,620,670	29
February	45	\$28,439	\$7,544,271	38	\$ 26,937	\$7,623,628	37	\$21,244	\$6,073,905	32
March				61	\$ 40,087	\$11,450,722	50	\$29,072	\$7,742,918	37
April				52	\$ 29,859	\$8,415,166	32	\$20,477	\$5,504,520	51
May				56	\$ 31,182	\$8,264,540	47	\$29,526	\$8,339,273	43
June				56	\$ 32,578	\$9,493,426	57	\$30,081	\$7,938,743	35
July				49	\$ 27,677	\$23,143,415	45	\$29,719	\$8,134,683	42
August				56	\$ 31,007	\$8,575,728	45	\$25,780	\$6,952,025	42
September				55	\$ 32,185	\$8,561,038	41	\$27,381	\$8,299,292	38
October				65	\$ 46,425	\$12,830,429	54	\$33,494	\$9,200,561	38
November				50	\$ 32,098	\$8,887,651	55	\$27,672	\$7,124,729	23
December				34	\$ 26,207	\$7,271,454	40	\$72,155	\$29,769,555	36
TOTALS	88	\$64,706	\$18,125,824	622	\$389,724	\$123,794,031	536	\$370,165	\$111,700,874	446

26 Single-family building permits issued for February, 2019



Loudon County Planning Department

101 Mulberry Street, Suite 101
Loudon, Tennessee 37774
Office: 865-458-2055
Fax: 865-458-3598
www.loudoncounty-tn.gov

AGENDA
LOUDON COUNTY BOARD OF ZONING APPEALS
March 19, 2019
Immediately following the Planning Commission Meeting

1. Call to Order
2. Roll Call and Swearing In All Witnesses
3. Approval of Minutes from February 19, 2019 meeting.
4. Planned Agenda Items;
 - A. Variance Request, 0'setbacks for side and rear yard to add roof to walls to enclose for storage area, Property Owner and Applicant, Darrell Summey, 479 Engel Rd., Tax Map 033L, Group A, Parcel 003.00. R-1, Suburban Residential District, Approximately 1.01 acres;
 - B. Special Exception, home occupation for online property management business, Applicant and Property Owner, Rhonda Blue, 375 Hubbard Rd., Tax Map 025, Parcel 020.00, A-2, Rural Residential District, Approximately 27.24 acres;
 - C. Special Exception, adult women rehabilitation facility, Applicant, Ed Loy, Property owners, Mark & Teresa Smith, 3462 Hines Valley Rd., Lenoir City, Tax Map 009, Parcel 202, R-1 Suburban Residential District, Approximately 1.19 acres;
 - D. Variance Request for minimum lot size requirement to combine lots, Applicant and property Owner, Dana L. Sabatino, 1020 Matlock Shores, Tax Map 041P, Group B, Parcel 002.00, A-1, Agriculture-Forestry District, Approximately .69 acres combined;
5. Additional Public Comments
6. Announcements and/or comments from Board/Commission
7. Adjournment



Tennessee



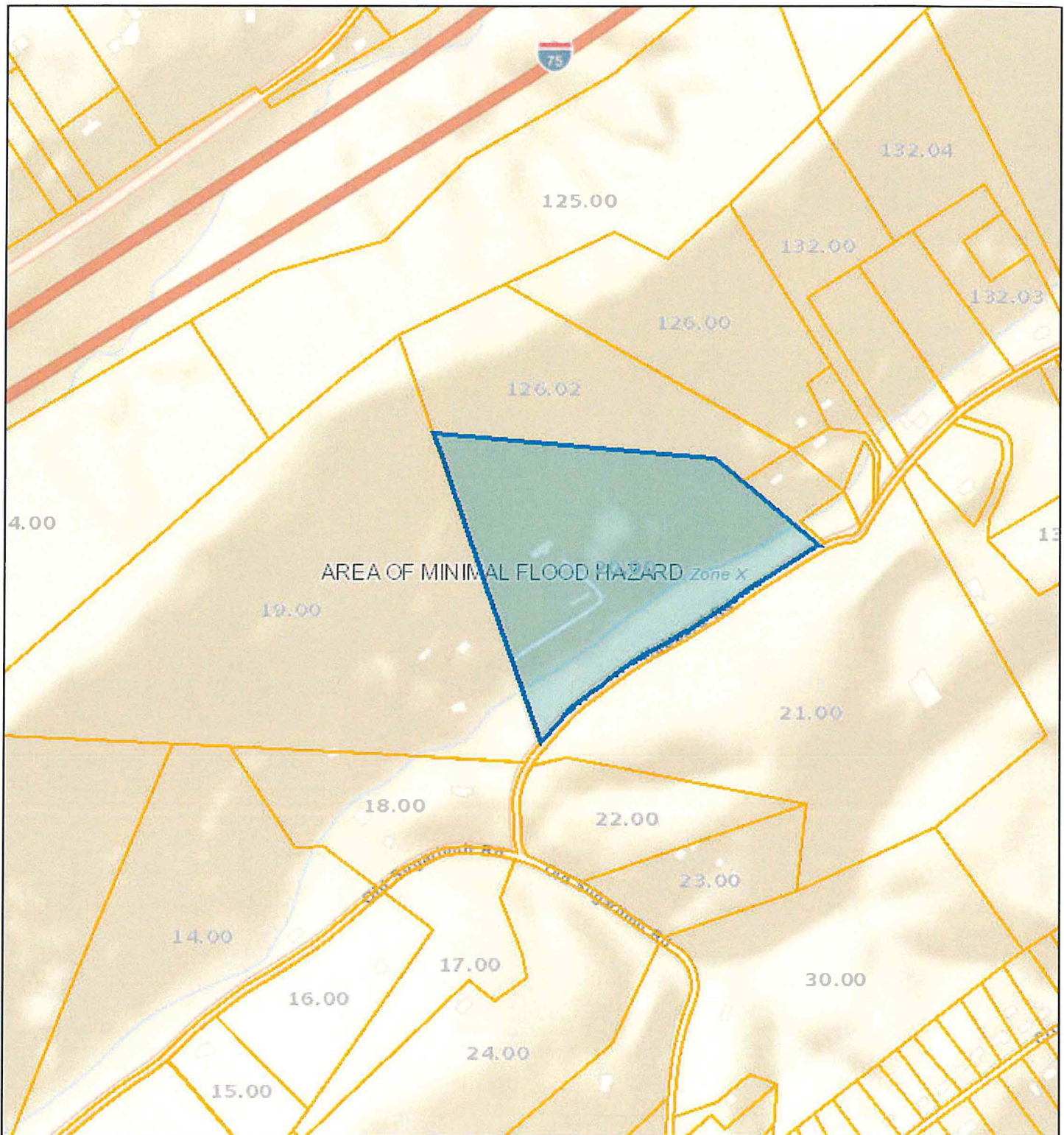
TN Comptroller - OLG | Stat



ITEM A



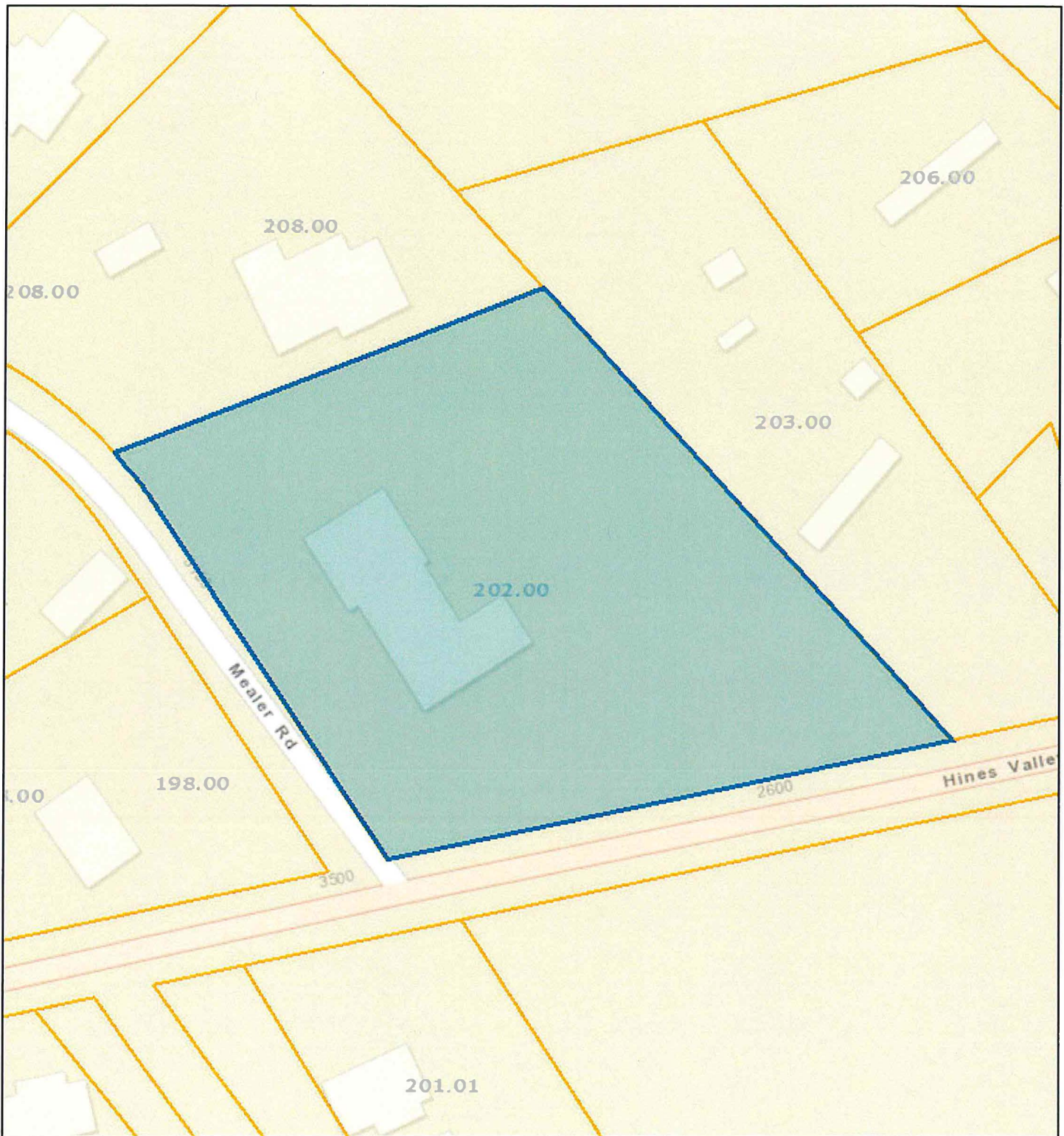
Loudon County - Parcel: 025 020.00



Date: March 11, 2019
County: Loudon
Owner: BLUE THOMAS R ETUX RHONDA L
Address: HUBBARD RD 375
Parcel Number: 025 020.00
Deeded Acreage: 27.24
Calculated Acreage: 0
Date of Imagery: 2015

TN Comptroller - OLG
State of Tennessee, Comptroller of the Treasury, Office of Local Government (OLG)
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of ownership in a court of law.



Date: March 1, 2019
County: Loudon
Owner: SMITH MARK R ETUX
Address: HINES VALLEY RD 3462
Parcel Number: 009 202.00
Deeded Acreage: 1.19
Calculated Acreage: 0
Date of Imagery: 2015

TN Comptroller - OLG
State of Tennessee, Comptroller of the Treasury, Office of Local Government (OLG)
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

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Date: March 1, 2019
 County: Loudon
 Owner: SMITH MARK R ETUX
 Address: HINES VALLEY RD 3462
 Parcel Number: 009 202.00
 Deeded Acreage: 1.19
 Calculated Acreage: 0
 Date of Imagery: 2015

TN Comptroller - OLG
 Esri, HERE, Garmin, © OpenStreetMap contributors
 TDOT
 State of Tennessee, Comptroller of the Treasury, Office of Local Government
 (OLG)

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Date: March 8, 2019
 County: Loudon
 Owner: LAWLER RUSSELL G ETUX
 Address: MATLOCK SHORES 1088
 Parcel Number: 031J C 011.00
 Deeded Acreage: 0
 Calculated Acreage: 0
 Date of Imagery: 2015

TN Comptroller - OLG
 State of Tennessee, Comptroller of the Treasury, Office of Local Government
 (OLG)
 Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan,
 Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

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